

Date: 13/10/17
Time: 9:52:25 AM

General Notes
Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Consultants drawings prior to work commencement.
Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence.
Prior to any alterations or modifications of plans or details on site, Contractor(s), tradesperson(s), or homeowner(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are for its most current edition or published revision thereto, as approved by ministerial order by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised. All references to the BCBC is to Division B of the British Columbia Building code unless otherwise noted.

Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.G.S.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with this specification; no dilution permitted except where specified.

Structural Design
Structural is based on criteria stated in Part 9 of the 2012 B.C. Building Code. Design live loads as follows:

Design main floor load	- 41.8 p.s.f. - 2.00 kPa
Design bedroom floor load	- 41.8 p.s.f. - 2.00 kPa
Design decks and balconies	- 62.7 p.s.f. - 3.00 kPa
Design roof load	- 67.7 p.s.f. - 3.00 kPa

For heavier snow loading, drawings must be revised.
All interior and exterior wall bracing to resist lateral loads to comply with B.C.B.C. 9.23.13. and to be designed by structural engineer unless noted elsewhere. Structural Engineering and truss manufacturers drawings to take precedence over structural design stated within.

Concrete
All concrete used for footings and foundations is to be not less than 15 MPa @ 28 days unless otherwise noted.
All concrete used for floors is to be not less than 20 MPa @ 28 days unless otherwise noted.
All concrete used for carport, garage floors and exterior steps to be a min. 32 MPa @ 28 days.
Exterior stairs, garage and carport slabs air entrainment of 5-8% required.
All foundations and footings to be carried down to solid undisturbed bearing.

Rough Carpentry
All construction and materials to comply with the "approved" current issue and amendments of C.W.C. and B.C.B.C. Pre-Manufactured homes and walls to comply with B.C.B.C. and C.S.A. requirements.
All structural framing members are sized for standard grade No. 2 better Spruce-Pine-Fir (in accordance with N.L.G.A. standard grading rules for Canadian Lumber) except where specifically noted otherwise.
Framing contractor is to provide backing for all plumbing accessories, shelving, curtain rods, cabinets, etc.
Contractor shall be responsible for the proper setting out of all work and ensure no eccentric loads occur.

Fire Safety
All concealed spaces to be fireblocked in compliance with B.C.B.C. 9.10.16. Fire block materials to comply with B.C.B.C. 9.10.16.3.
All rated partition walls to have solid blocking installed over within floor joist cavity. Contractor to ensure all rated partition walls to run uninterrupted to underside of roof sheathing. Rated wall assemblies must run continuous behind bu surrounds and stairs and must contain solid fire blocking continuous at interface with rated horizontal floor assemblies.
No combustible plumbing is to be installed in rated wall assemblies.
All penetrations in rated wall assemblies to be fire protected and caulked.
All doors, dampers & other closures in fire separations must comply with B.C.B.C. 9.10.13.
All duct chases must not penetrate rated wall assemblies and are to be directed to exterior within self-contained suite.

Secondary Suites
Secondary suites to comply with B.C.B.C. 9.37.
Secondary suite to be heated by independent electric baseboard heating system.
Secondary suite to have a separate Principal Exhaust Fan and Passive Supply Ventilation. One Interconnected photoelectric smoke alarm to be installed in both the secondary suite and the primary residence in compliance with B.C.B.C. 9.37.2.19 (1) and (2). Fire separation between primary dwelling and secondary suite to have a 30 minute F.R.R. unless noted elsewhere.
Door(s) between primary dwelling and secondary suite are to be 20 Minute F.R.R. Solid Core Wood Door and to be gas tight with a self closing device. Door(s) to have bolt lock hardware installed with bolt turn on the property owner side.
Secondary suite Primary Exhaust Fan on/off switch to be mounted in the primary residence. On/Off switches to be labelled "PRIMARY EXHAUST FAN FOR SECONDARY SUITE". All duct chases must not penetrate rated wall assemblies and are to be directed to exterior within self-contained suite. Any ducts that penetrate the rated wall assembly as to be fitted with fire dampers and a duct-type smoke detector to prevent the circulation of smoke in compliance with B.C.B.C. 9.37.2.17.(1).
Water line to have separate shut off valves for main and suite. No combustible plumbing to penetrate the underside of a rated ceiling assemblies.

Doors, Windows, And Skylights
All windows, doors, and skylights to meet the requirements laid forth in B.C.B.C. 9.7. and 9.36.
All manufactured windows, doors and skylights to comply B.C.B.C. 9.4.7.1.(1)(a) and with AAMA/WDMA/CSA 101/1.5.2/A440,"NAFS-North American Fenestration Standard/Specification for Windows, Doors, and Skylights", & A440S1-09 "Canadian Supplement to.....NAFS..."
The following window requirements are derived from B.C.B.C. Table C-4 as per B.C.B.C. 9.7.4.3. and are to be used to satisfy the requirements of "NAFS":
Langford, CLASS R, DP 600, PG 20, WATER RESIST. 220, A2.
Minimum Thermal Resistance ratings of windows as per B.C.B.C. 9.36.

Windows and Doors	- U 0.32 - 1.80 USI
Front Entrance Door	- U 0.46 - 2.60 USI
Glass Block	- U 0.51 - 2.90 USI
Skylight	- U 0.51 - 2.90 USI
Skylight shaft walls	- R 15.79 - 2.78 RSI
Overhead Garage Doors	- R 6.25 - 1.10 RSI

Site built doors and windows to comply with B.C.B.C. 5.10.2. and 9.36.2.7.(3)
Fishing to be above all doors and windows not directly protected by eaves.
Limited Water doors are to be used for exterior garage utility doors and the door(s) separating the residence and the garage, and wherever allowed by B.C.B.C. 9.7.4.2.(2)
All interior doors to clear finish flooring by 12mm (1/2") to allow for unobstructed air distribution.

Electrical Panel
Electrical Facilities to comply with B.C.B.C. 9.34 and 9.36.
All electrical facilities, panels, lighting and any fixed equipment shall comply with the Canadian Electrical Code, BCBC 9.34 and 9.36, and shall be installed by a certified electrician. A registered professional to design and/or verify work as required by the local authority having jurisdiction.
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Thermal Resistance of Wall, Ceiling, and Floor Assemblies.
All Thermal resistance calculations where done using the parallel path method as described in B.C.B.C. A-9.36.2.4.(1)
$$RSI_{parallel} = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}}$$

Common Building Materials
The following is a list of building materials called for in the plans. The RSI Values shown are based of those provided in B.C.B.C. Table A-9.36.2.4.(1)D and have either been pre-calculated using the listed thickness shown or by the per mm rate multiplied by the thickness.
Siding
Concrete Fibre Siding (Horizontal Lap, Panel, or Shingle Panel): 0.03 RSI
25mm Thick Cedar Siding (tongue and groove or butt joint): 0.26 RSI
400mm Wood Shingle Siding with 190mm Exposure: 0.15 RSI
Metal or vinyl Siding over sheathing: 0.11 RSI
51mm (2") Thick Pre-Manufactured Stone Veneer: 0.02 RSI
19mm (3/4") Thick Stucco Finish: 0.02 RSI
Structural Framing Members
38mm Spruce-Pine-Fir Studs (on flat): 0.32 RSI
38mmx89mm (2x4) Spruce-Pine-Fir Studs or Joists: 0.76 RSI
38mmx140mm (2x6) Spruce-Pine-Fir Studs or Joists: 1.19 RSI
38mmx185mm (2x8) Spruce-Pine-Fir Studs or Joists: 1.56 RSI
38mmx235mm (2x10) Spruce-Pine-Fir Studs or Joists: 2.00 RSI
38mmx286mm (2x12) Spruce-Pine-Fir Studs or Joists: 2.43 RSI
241mm (9 1/2") Wood 1 Spruce-Pine-Fir Joists: 2.05 RSI
302mm (11 7/8") Wood 1 Spruce-Pine-Fir Joists: 2.57 RSI
200mm (8") Cast in Place Concrete Foundation Wall: 0.08 RSI
Sheathing
12.5mm (1/2") Plywood (Generic Softwood) Sheathing: 0.11 RSI
15.2mm (5/8") Plywood (Generic Softwood) Sheathing: 0.14 RSI
18.5mm (3/4") Plywood (Generic Softwood) Sheathing: 0.16 RSI
12.5mm (1/2") Oriented Strandboard Sheathing: 0.12 RSI
15.5mm (5/8") Oriented Strandboard Sheathing: 0.15 RSI
15.9mm (5/8") Gypsum Sheathing: 0.10 RSI
Insulation
R12 Fibre Glass Batt Insulation: 2.11 RSI
R19 Fibre Glass Batt Insulation (R20 Compressed): 3.34 RSI
R20 Fibre Glass Batt Insulation: 3.52 RSI
R28 Fibre Glass Batt Insulation: 4.93 RSI
R31 Fibre Glass Batt Insulation: 5.46 RSI
R40 Fibre Glass Batt Insulation: 7.04 RSI
Glass Fibre Loose fill Insulation for attics (Per mm): 0.01875 RSI
12.7mm (1/2") Extruded Polystyrene (Type 2, 3, and 4): 0.44 RSI
25mm (1") Extruded Polystyrene (Type 2, 3, and 4): 0.88 RSI
38mm (1 1/2") Extruded Polystyrene (Type 2, 3, and 4): 1.28 RSI
51mm (2") Extruded Polystyrene (Type 2, 3, and 4): 1.71 RSI
64mm (2 1/2") Extruded Polystyrene (Type 2, 3, and 4): 2.15 RSI
77mm (3") Extruded Polystyrene (Type 2, 3, and 4): 2.59 RSI
89mm (3 1/2") Extruded Polystyrene (Type 2, 3, and 4): 2.99 RSI
100mm (4") Extruded Polystyrene (Type 2, 3, and 4): 3.36 RSI
12.7mm (1/2") Expanded Polystyrene (Type 3): 0.38 RSI
25mm (1") Expanded Polystyrene (Type 3): 0.76 RSI
38mm (1 1/2") Expanded Polystyrene (Type 3): 1.14 RSI
51mm (2") Expanded Polystyrene (Type 3): 1.53 RSI
64mm (2 1/2") Expanded Polystyrene (Type 3): 1.92 RSI
77mm (3") Expanded Polystyrene (Type 3): 2.25 RSI
89mm (3 1/2") Expanded Polystyrene (Type 3): 2.31 RSI
100mm (4") Expanded Polystyrene (Type 3): 3.00 RSI
12.7mm (1/2") Spray Applied Polyurethane Foam (medium density): 2.05 RSI
15.2mm (5/8") Spray Applied Polyurethane Foam (medium density): 5.46 RSI
184mm (7 1/4") Spray Applied Polyurethane Foam (medium density): 6.44 RSI
Air Films and Air Cavities
Exterior Air Film (ceiling, floors and walls): 0.03 RSI
Interior Air Film (Ceiling): 0.11 RSI
Interior Air Film (Floor): 0.16 RSI
Interior Air Film (Wall): 0.12 RSI
9.5mm (3/8") Wall (Rainscreen) Air Cavity: 0.15 RSI
13mm (1/2") Wall Air Cavity: 0.16 RSI
13mm (1/2") Ceiling (Resilient Metal Channel) Air Cavity: 0.15 RSI
Interior Wall and Ceiling Finishes
12.7mm (1/2") Gypsum Board (X-Type or Regular): 0.08 RSI
15.9mm (5/8") Gypsum Board (X-Type or Regular): 0.09 RSI
Miscellaneous materials
Permeable (#15 Roofing) Felt: 0.01 RSI
12.7mm (1/2") Lime Based Mortar: 0.01 RSI

Assembly Calculations for Effective RSI Values.
Raised Heel Wood Trusses @ 610mm (24") with Fibre Glass Loose Fill Insulation (R40).
$$RSI = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}} \rightarrow RSI = \frac{100}{\frac{7}{0.76} + \frac{93}{1.67}} \rightarrow RSI = 1.54$$

279mm (11") Fibre Glass Loose Fill Insulation: 5.23 RSI
38mmx89mm (2x4) Bottom Truss Chord @ 610mm (24") with 89mm (3 1/2") Fibre Glass Loose Fill Insulation: 1.54 RSI
6 mil Polyethylene Vapour Barrier: 0.00 RSI
15.9mm (5/8") Gypsum Board (X-Type or Regular): 0.08 RSI
Interior Air Film (Ceiling): 0.11 RSI
Total: 6.96 RSI
Raised Heel Wood Trusses @ 610mm (24") with R40 Batt Insulation
$$RSI_{parallel} = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}} \rightarrow RSI = \frac{100}{\frac{7}{0.76} + \frac{93}{2.11}} \rightarrow RSI = 1.87$$

R28 Fibre Glass Batt Insulation: 4.93 RSI
38mmx89mm (2x4) Bottom Truss Chord @ 610mm (24") with R12 Fibre Glass Batt Insulation: 1.87 RSI
6 mil Polyethylene Vapour Barrier: 0.00 RSI
15.9mm (5/8") Gypsum Board (X-Type or Regular): 0.08 RSI
Interior Air Film (Ceiling): 0.11 RSI
Total: 6.99 RSI
Exterior 2x6 Stud Wall @ 406mm (16") with R19 Fibre Glass Batt Insulation, and Clad with 51mm Thick (2") Pre-Manufactured Stone Veneer
$$RSI = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}} \rightarrow RSI = \frac{100}{\frac{23}{1.19} + \frac{77}{3.34}} \rightarrow RSI = 2.36$$

Exterior Air Film (ceiling, floors and walls): 0.03 RSI
51mm (2") Thick Pre-Manufactured Stone Veneer: 0.02 RSI
12.7mm (1/2") Lime Based Mortar: 0.01 RSI
9.5mm (3/8") Wall (Rainscreen) Air Cavity: 0.15 RSI
12.5mm (1/2") Plywood (Generic Softwood) Sheathing: 0.11 RSI
38mmx140mm (2x6) Studs @ 406mm (16") with R-19 Batt Insulation: 2.36 RSI
6 mil Polyethylene Vapour Barrier: 0.00 RSI
12.7mm (1/2") Gypsum Board (X-Type or Regular): 0.08 RSI
Interior Air Film (Wall): 0.12 RSI
Total: 2.88 RSI

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Assembly Calculations for Effective RSI Values.
Exterior 38mmx140mm (2x6) Stud Wall @ 406mm (16") with R19 Fibre Glass Batt Insulation, and Clad with Concrete Fibre Siding
$$RSI_{parallel} = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}} \rightarrow RSI = \frac{100}{\frac{23}{1.19} + \frac{77}{3.34}} \rightarrow RSI = 2.36$$

Exterior Air Film (ceiling, floors and walls): 0.03 RSI
Concrete Fibre Siding (Horizontal Lap, Panel, or Shingle Panel): 0.03 RSI
9.5mm (3/8") Wall (Rainscreen) Air Cavity: 0.15 RSI
12.5mm (1/2") Oriented Strandboard Sheathing: 0.12 RSI
38mmx140mm (2x6) Studs @ 406mm (16") with R-19 Batt Insulation: 2.36 RSI
6 mil Polyethylene Vapour Barrier: 0.00 RSI
12.7mm (1/2") Gypsum Board (X-Type or Regular): 0.08 RSI
Interior Air Film (Wall): 0.12 RSI
Total: 2.89 RSI
Wall between Garage and Primary Residence, 38mmx140mm (2x6) Stud Wall @ 406mm (16") with R19 Fibre Glass Batt Insulation
$$RSI_{parallel} = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}} \rightarrow RSI = \frac{100}{\frac{23}{1.19} + \frac{77}{3.34}} \rightarrow RSI = 2.36$$

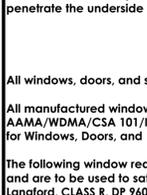
Exterior Air Film (ceiling, floors and walls): 0.03 RSI
15.9mm (5/8") Gypsum Board (X-Type or Regular): 0.09 RSI
38mmx140mm (2x6) Studs @ 406mm (16") with R-19 Batt Insulation: 2.36 RSI
6 mil Polyethylene Vapour Barrier: 0.00 RSI
12.7mm (1/2") Gypsum Board (X-Type or Regular): 0.08 RSI
Interior Air Film (Wall): 0.12 RSI
Total: 2.68 RSI
200mm (8") Thick Foundation Walls with 38mm x 89mm (2x4) Furring @ 610mm (24") with R12 Fibre Glass Batt Insulation
$$RSI_{parallel} = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}} \rightarrow RSI = \frac{100}{\frac{13}{0.76} + \frac{87}{2.11}} \rightarrow RSI = 1.71$$

200mm (8") Cast in Place Concrete Foundation Wall: 0.08 RSI
13mm (1/2") Wall Air Cavity: 0.16 RSI
38mmx89mm (2x4) Furring Wall Below Grade @ 406mm (16") with R12 Fibre Glass Batt Insulation: 1.71 RSI
6 mil Polyethylene Vapour Barrier: 0.00 RSI
12.7mm (1/2") Gypsum Board (X-Type or Regular): 0.08 RSI
Interior Air Film (Wall): 0.12 RSI
Total: 2.15 RSI
Floor between Garage and Primary Residence, 38mmx235mm (2x10) @ 406mm (16") with R31 Fibre Glass Batt Insulation
$$RSI_{parallel} = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}} \rightarrow RSI = \frac{100}{\frac{13}{2.00} + \frac{87}{5.46}} \rightarrow RSI = 4.46$$

Interior Air Film (Floor): 0.11 RSI
15.5mm (5/8") Oriented Strandboard Sheathing: 0.15 RSI
38mmx235mm (2x10) Joist @ 406mm (16") with R31 Batt Insulation: 4.46 RSI
15.9mm (5/8") Gypsum Board (X-Type or Regular): 0.09 RSI
Exterior Air Film (ceiling, floors and walls): 0.03 RSI
Total: 4.83 RSI
Floor Cantilever, 38mmx235mm (2x10) @ 406mm (16") with R31 Fibre Glass Batt Insulation
$$RSI_{parallel} = \frac{100}{\frac{\% \text{ area of framing}}{RSI_f} + \frac{\% \text{ area of cavity}}{RSI_c}} \rightarrow RSI = \frac{100}{\frac{6.50}{15.93} + \frac{22.43}{22.43}} \rightarrow RSI = 4.46$$

Interior Air Film (Floor): 0.16 RSI
15.5mm (5/8") Oriented Strandboard Sheathing: 0.15 RSI
38mmx235mm (2x10) Joist @ 406mm (16") with R31 Batt Insulation: 4.46 RSI
Exterior Air Film (ceiling, floors and walls): 0.03 RSI
Total: 4.80 RSI

Professional Seals
CONSULTANTS
LIST OF DRAWINGS
A1 General Notes
A2 Siteplan
A3 Elevations
A4 Foundation & Lower Floor Plans
A5 Main & Upper Floor Plans
A6 Section
D1 Rainscreen Details
D2 Rainscreen Details
ISSUED/REVISED
No. DATE ISSUED/REVISED
01 09/13/17 Client Review
02 10/12/17 For B.P. Submission
03
04
05
06
07
08
General Contractor and or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes included on plan.
Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work.
Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.
Note: Where final construction differs from approved working drawings following an on-site alterations or modification executed by the contractor or owner, as-built revisions to plans for municipal submission shall be for the account of the contractor or owner. Such plan revisions shall be provided at the hourly Victoria Design Group technical drafting rate applicable at the time of revision.
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	DRWG NO.	7580-41
	SHT. NO.	A1 OF A6
	DATE	Oct 12, 2017
	SCALE	As Shown
	DRAWN	N.S.
PH: 250-382-7374 FAX: 250-382-7364 WWW.VICTORIADESIGNGROUP.CA	REVIEWED BY	J.T.E.

GENERAL NOTES
PROJECT **Proposed Residence: Langdon Weir Construction Ltd. 3551 Paperbark Cres. Lot 41 Latoria Rise Langford, B.C.**

SKETCH PLAN OF PROPOSED LOTS 41

CIVIC: 815 & 835 LATORIA ROAD

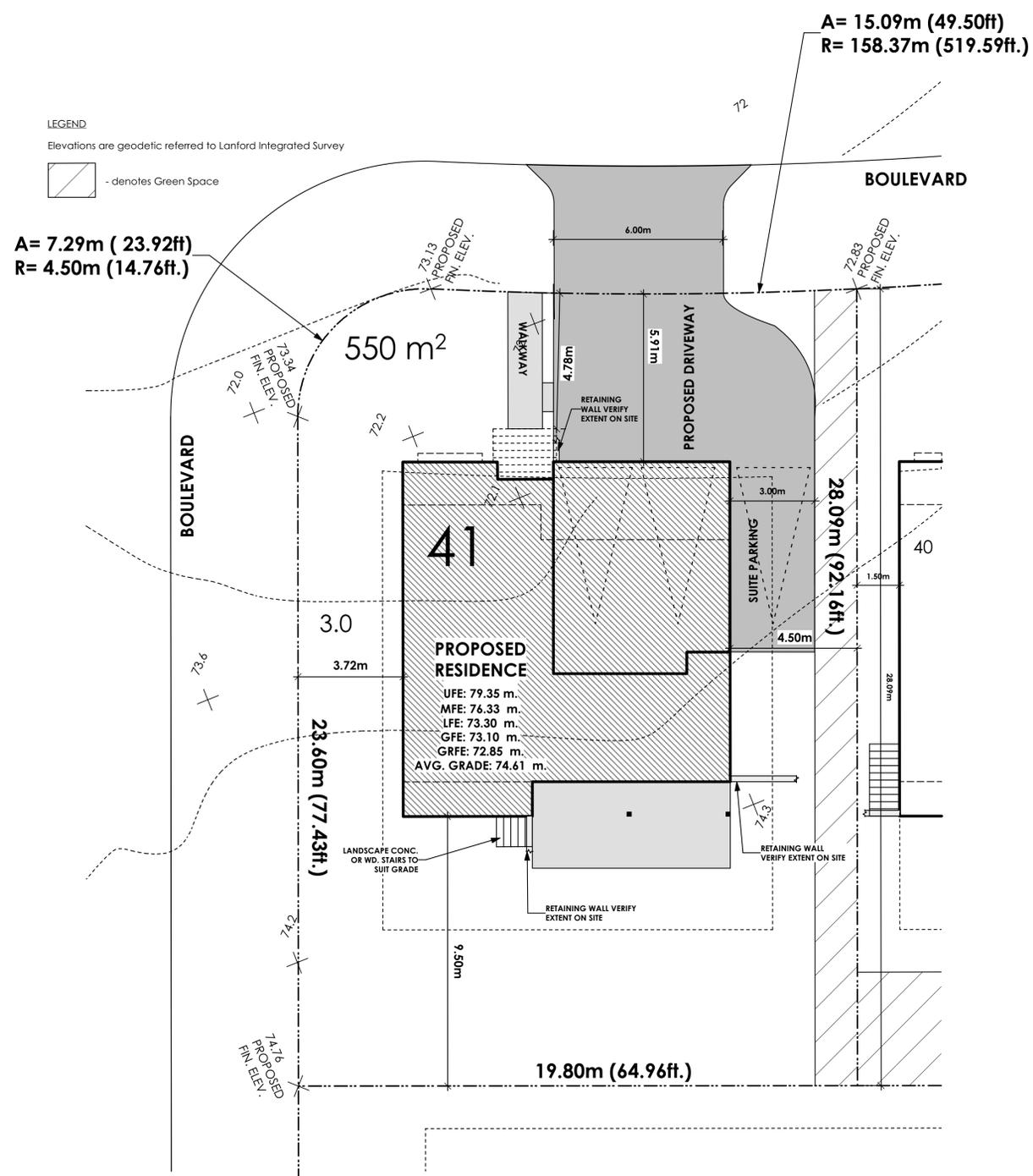
LOTS 15 & 16, SECTION 70,

METCHOSIN DISTRICT, PLAN 1957

Parcel Identifiers: 006-739-342 & 006-739-351

SITE DATA	RR-6A	LOT 41
ITEMS	PERMITTED	PROPOSED
LOT AREA		550.12 sq.m.
LOT COVERAGE	50.00 %	26.09 %
HEIGHT	9.00 m.	8.27 m.
SETBACKS		
- FRONT (NORTH)	4.50 m.	4.78 m.
- REAR (SOUTH)	5.50 m.	9.50 m.
- SIDE (WEST)	3.00 m.	3.72 m.
- SIDE (EAST)	1.50 m.	4.50 m.
- GARAGE	5.50 m.	5.91 m.
FLOOR AREA		
- UPPER		98.76 sq.m.
- MAIN		114.92 sq.m.
- LOWER		89.34 sq.m.
- GARAGE		45.50 sq.m.
SUBTOTAL FLOOR AREA		348.52 sq.m.

LEGEND
Elevations are geodetic referred to Lanford Integrated Survey
- denotes Green Space



PROFESSIONAL SEALS

CONSULTANTS

LIST OF DRAWINGS

No.	DATE	ISSUED/REVISED
A1		General Notes
A2		Siteplan
A3		Elevations
A4		Foundation & Lower Floor Plans
A5		Main & Upper Floor Plans
A6		Section
D1		Rainscreen Details
D2		Rainscreen Details

ISSUED/REVISED

No.	DATE	ISSUED/REVISED
01	09/13/17	Client Review
02	10/12/17	For B.P. Submission
03		
04		
05		
06		
07		
08		

General Contractor and or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes included on plan.

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Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.

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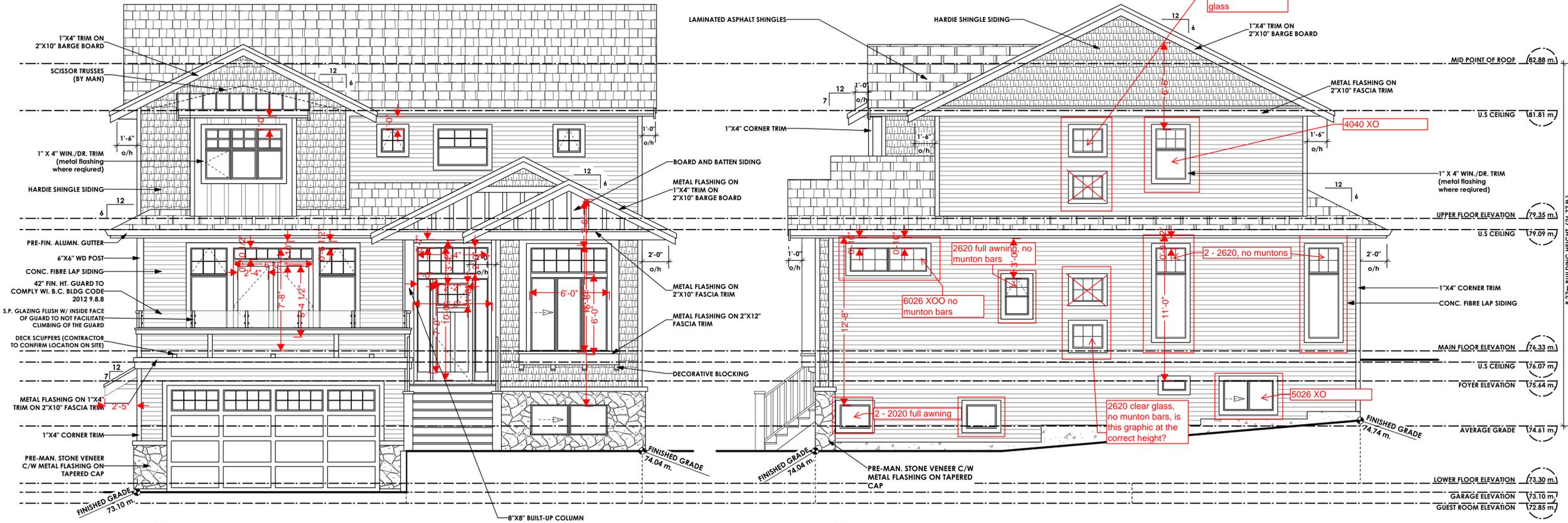
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<p>VICTORIA DESIGN GROUP 403 - 801 ATTERLEE AVENUE VICTORIA, B.C. V8B 0A6 PH: 250.382.7374 FAX: 250.382.7364 WWW.VICTORIADESIGNGROUP.CA</p>	DRWG NO.	7580-41
	SHT. NO.	A2 OF A6
	DATE	Oct 12, 2017
	SCALE	As Shown
	DRAWN	N.S.
	REVIEWED BY	J.T.E.

1 Site Plan
A2 Scale: 1:100

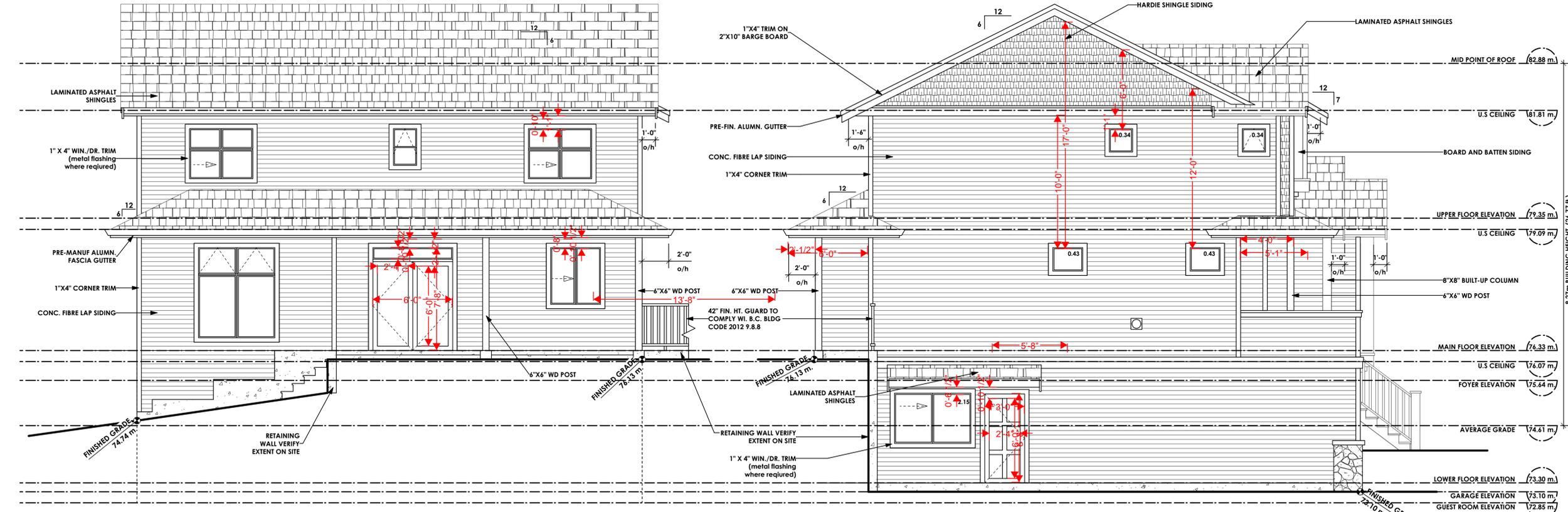
SITE PLAN

PROJECT **Proposed Residence:
Langdon Weir
Construction Ltd.
3551 Paperbark Cres.
Lot 41 Latoria Rise
Langford, B.C.**



1 Front (N) Elevation
A3 Scale: 1/4" = 1'-0" ***VERIFY WINDOW OPERATIONS WITH OWNER***

2 Right (W) Elevation
A3 Scale: 1/4" = 1'-0" ***VERIFY WINDOW OPERATIONS WITH OWNER***



3 Rear (S) Elevation
A3 Scale: 1/4" = 1'-0" ***VERIFY WINDOW OPERATIONS WITH OWNER***

4 Left (E) Elevation
A3 Scale: 1/4" = 1'-0" ***VERIFY WINDOW OPERATIONS WITH OWNER***

Limiting Distance	4.50 m.
Exposed Building Face	93.54 sq.m.
Allowable Openings	18 %
Allowable Opening Area	16.83 sq.m.
Proposed Openings	3.69 sq.m.

PROFESSIONAL SEALS

CONSULTANTS

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D1	Rainscreen Details
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ISSUED/REVISED

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03		
04		
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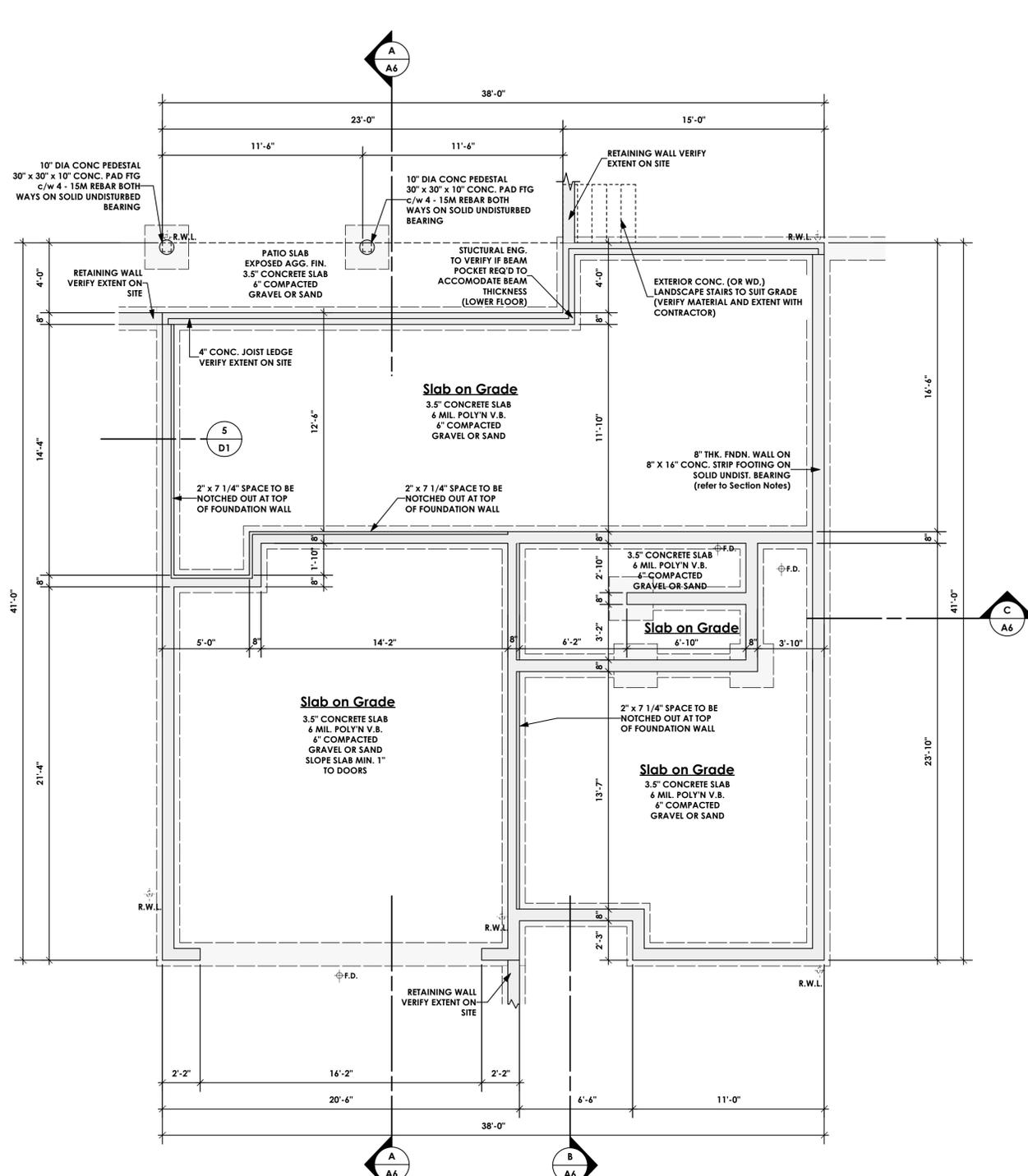
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<p>VICTORIA DESIGN GROUP</p> <p>103 - 801 ATLANTA AVENUE VICTORIA, B.C. V8B 0A6</p> <p>PH: 250.384.7374 FAX: 250.382.7364 WWW.VICTORIADESIGNGROUP.CA</p>	DRWG NO.	7580-41
	SHT. NO.	A3 OF A6
	DATE	Oct 12, 2017
	SCALE	As Shown
	DRAWN	N.S.
	REVIEWED BY	J.T.E.

ELEVATIONS

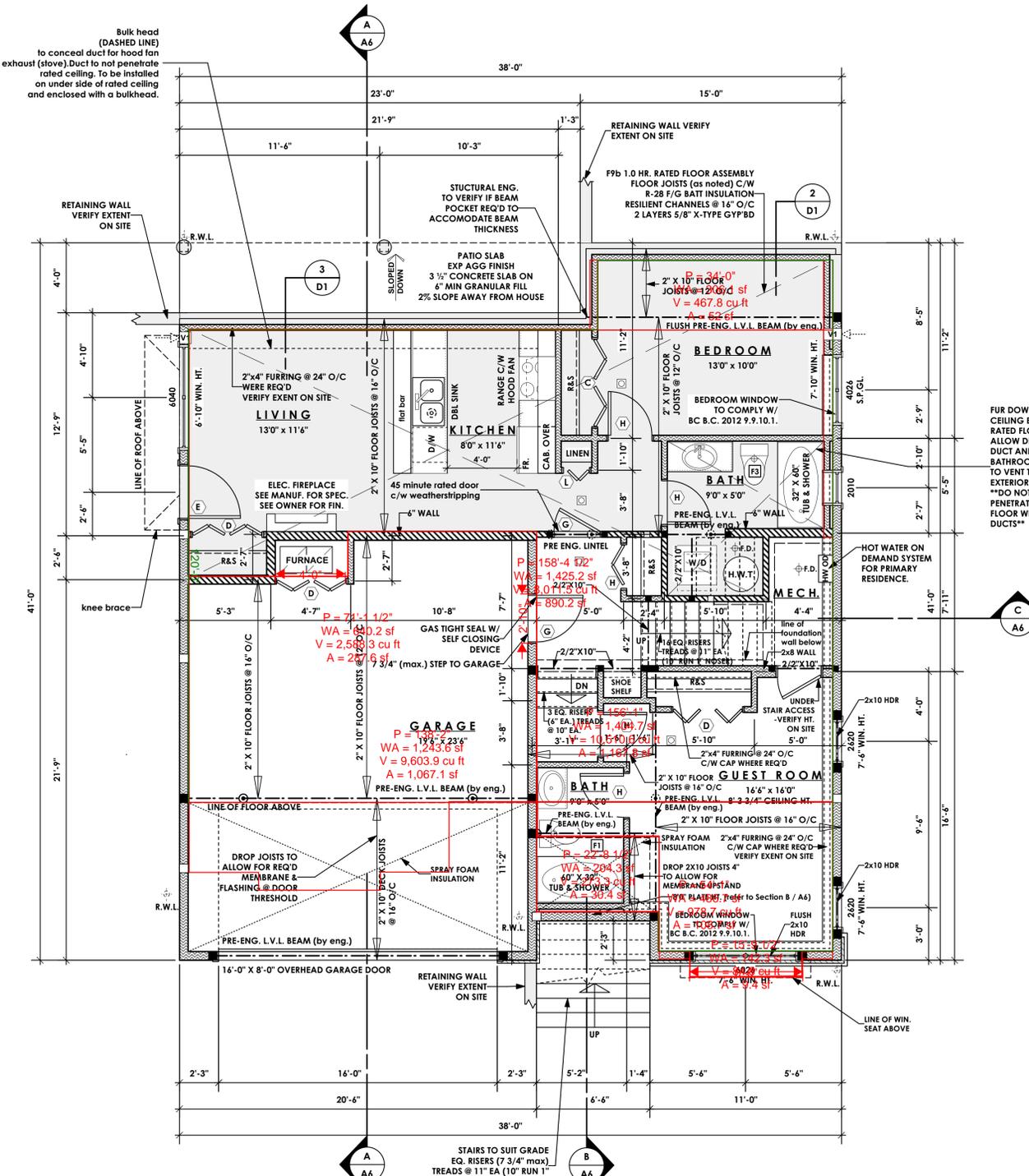
PROJECT Proposed Residence:
Langdon Weir
Construction Ltd.
3551 Paperbark Cres.
Lot 41 Latoria Rise
Langford, B.C.



1 Foundation Plan
Scale: 1/4" = 1'-0"

CONTRACTOR TO REVIEW FOUNDATION DETAILS PRIOR TO FABRICATING CONCRETE FORMS.
SLAB ON GRADE PORTIONS REQUIRE 1 1/2" THERMAL BREAK AND 2" X 7/16" "KNOCKOUT" IN FOUNDATION WALLS.
CONTRACTOR TO VERIFY PLACEMENT OF RAIN WATER LEADERS (R.W.L.) PRIOR TO EXCAVATION

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BLDG. CODE 9.23.13.2. AND SUPPLY DETAILS IF REQUIRED.



2 Lower Floor Plan
Scale: 1/4" = 1'-0"

MAIN RESIDENCE: 388.90 sq.ft. (36.25 sq.m.)
SECONDARY SUITE: 571.46 sq.ft. (53.09 sq.m.)
GARAGE: 489.76 sq.ft. (45.50 sq.m.)

■ SOLID BLOCKING
□ B/U WD POST (LOAD ABOVE)
● POINT LOAD

Interconnected Smoke detectors to comply with B.C.B.C. 9.10.19.
Interconnected Carbon Monoxide detectors to comply with B.C.B.C. 9.32.4.2.

Mechanical Exhaust Fans
F1 23L/s (50 CFM) Intermittent OR 9 L/s (20 CFM) continuous
F2 35L/s (60 CFM) continuous
F3 14L/s (30 CFM) continuous
V1 Passive supply grille 25cm² unobstructed area (min.)
Refer to general notes

DOOR SCHEDULE

A	8/0 X 6/8 (2438 X 2032)
B	6/0 X 6/8 (1829 X 2032)
C	5/0 X 6/8 (1524 X 2032)
D	4/0 X 6/8 (1219 X 2032)
E	3/0 X 6/8 (914 X 2032)
F	2/10 X 6/8 (864 X 2032)
G	2/8 X 6/8 (813 X 2032)
H	2/6 X 6/8 (762 X 2032)
J	2/4 X 6/8 (711 X 2032)
K	2/0 X 6/8 (610 X 2032)
L	1/6 X 6/8 (508 X 2032)

WALL LEGEND
REFER TO SECTION NOTES FOR ASSEMBLIES

W1	2" X 4" STUD EXTERIOR WALL
W2	2" X 4" STUD INTERIOR WALL
W3	1 1/2" RATED WALL 2" X 4" OR 2" X 6" STUD 1.0 HR. FRR
	8" THK. FNDN WALL
	14" X 8" CONCRETE STRIP FOOTING

PROFESSIONAL SEALS

CONSULTANTS

LIST OF DRAWINGS

A1	General Notes
A2	Siteplan
A3	Elevations
A4	Foundation & Lower Floor Plans
A5	Main & Upper Floor Plans
A6	Section
D1	Rainscreen Details
D2	Rainscreen Details

ISSUED/REVISED

No.	DATE	ISSUED/REVISED
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02	10/12/17	For B.P. Submission
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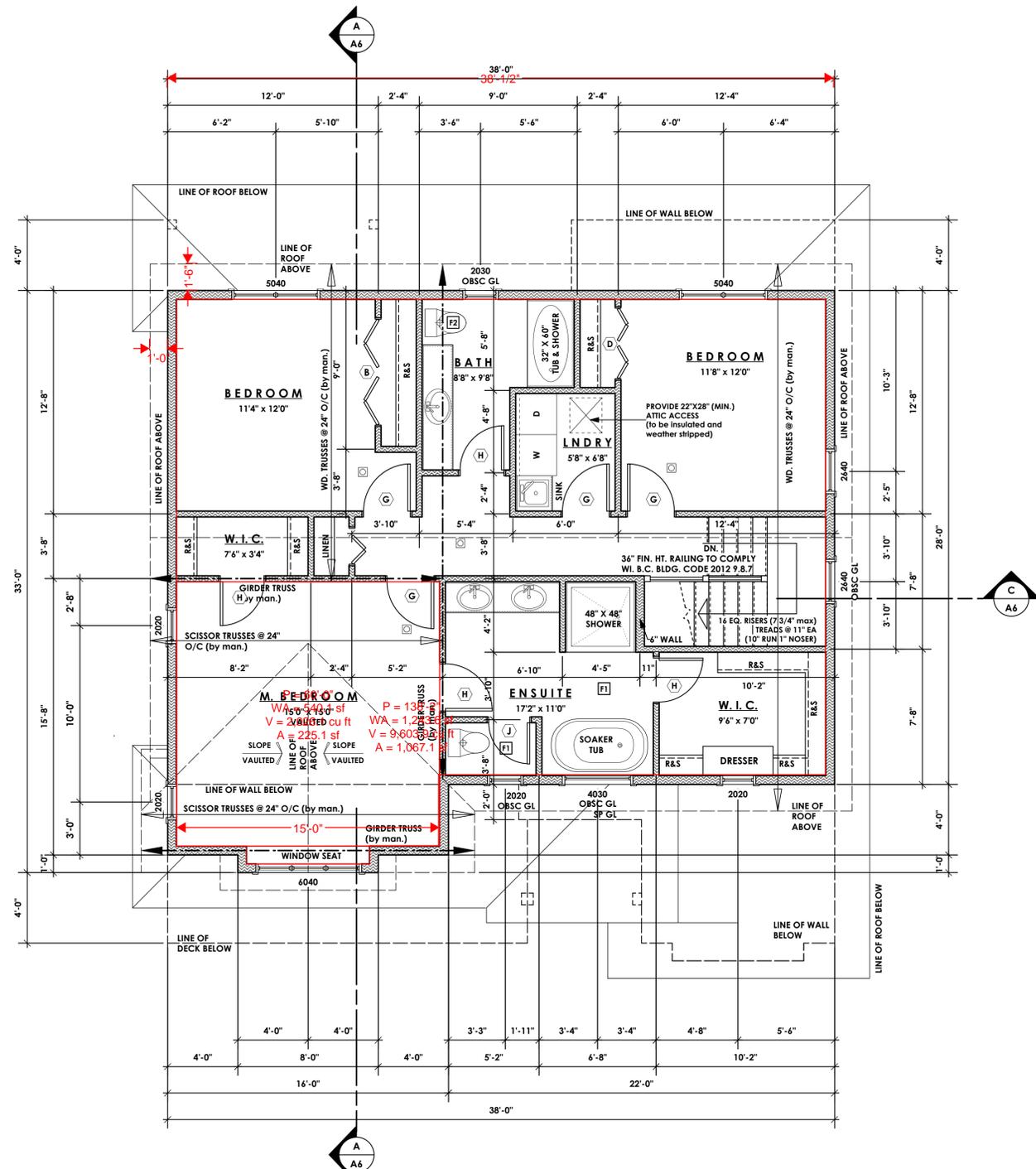
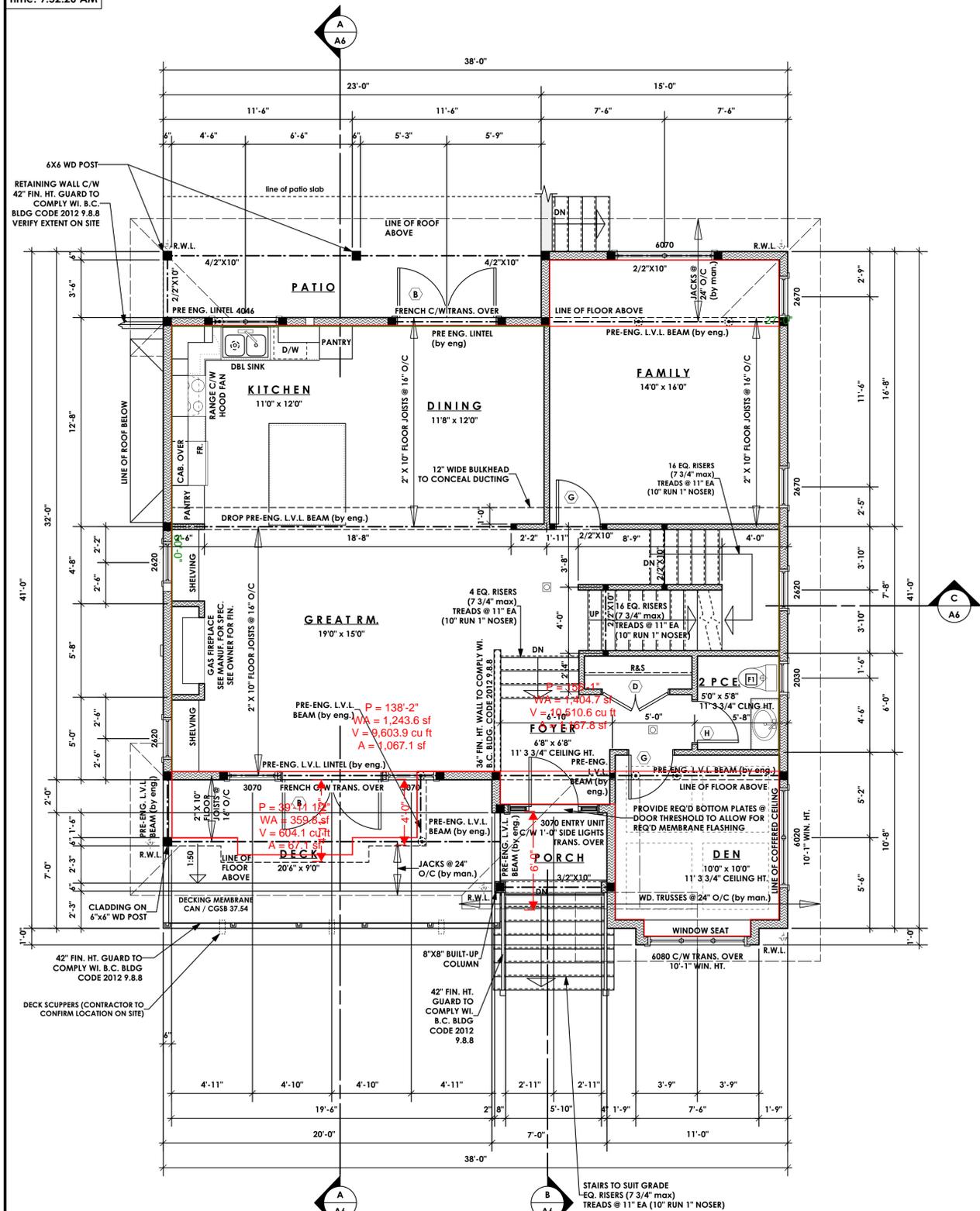
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DRWG NO. 7580-41
SHT. NO. A4 OF A6
DATE Oct 12, 2017
SCALE As Shown
DRAWN N.S.
REVIEWED J.T.E.

FNDN & LOWER FLOOR PLANS

PROJECT **Proposed Residence: Langdon Weir Construction Ltd. 3551 Paperbark Cres. Lot 41 Latoria Rise Langford, B.C.**



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DRWG NO. **7580-41**
SHT. NO. **A5 OF A6**
DATE **Oct 12, 2017**
SCALE **As Shown**
DRAWN **N.S.**
REVIEWED **J.T.E.**

MAIN & UPPER FLOOR PLANS

PROJECT **Proposed Residence:
Langdon Weir
Construction Ltd.
3551 Paperbark Cres.
Lot 41 Latoria Rise
Langford, B.C.**

WALL LEGEND
REFER TO SECTION NOTES FOR ASSEMBLIES

- W1 2"x4" STUD EXTERIOR WALL
- W2 2"x4" STUD INTERIOR WALL
- W3 W16 RATED WALL 2"x4" OR 2"x6" STUD 1.0 HR. FRR
- 8" THK. FNDN WALL
- 14" X 8" CONCRETE STRIP FOOTING

DOOR SCHEDULE

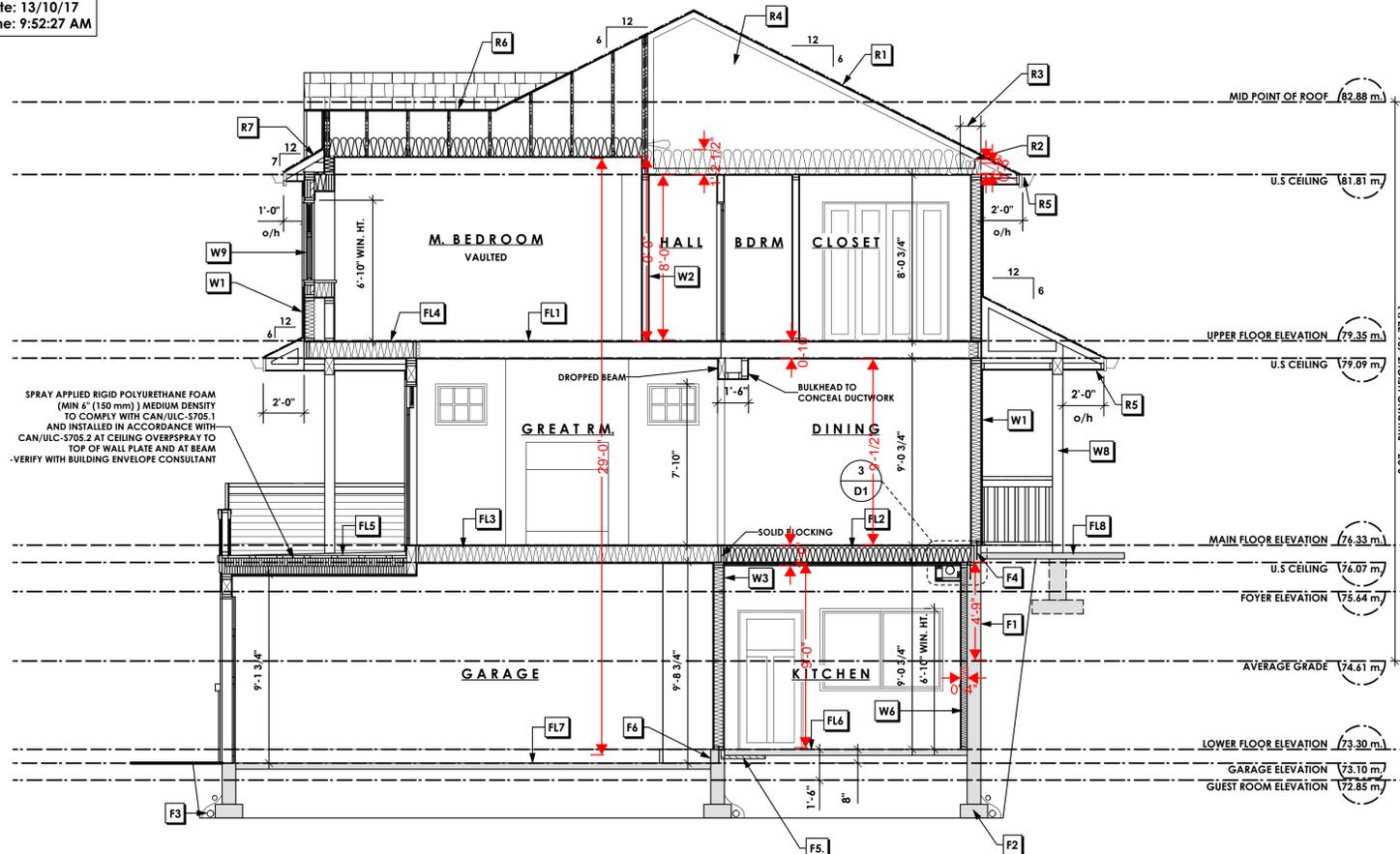
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- C 5/0 X 6/8 (1524 X 2032)
- D 4/0 X 6/8 (1219 X 2032)
- E 3/0 X 6/8 (914 X 2032)
- F 2/10 X 6/8 (864 X 2032)
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- H 2/6 X 6/8 (762 X 2032)
- J 2/4 X 6/8 (711 X 2032)
- K 2/0 X 6/8 (610 X 2032)
- L 1/6 X 6/8 (508 X 2032)

Mechanical Exhaust Fans

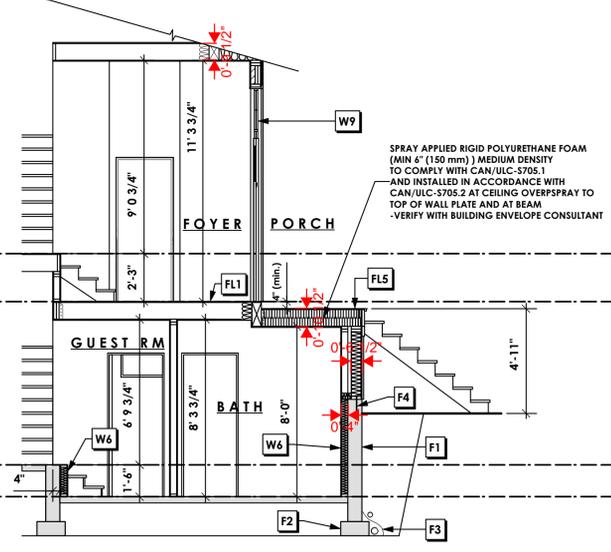
- F1 23L/s (50 CFM) Intermittent OR 9 L/s (20 CFM) continuous
- F2 35L/s (60 CFM) continuous
- F3 14L/s (30 CFM) continuous
- V1 Passive supply grille 25cm² unobstructed area (min.)

- SOLID BLOCKING
- B/U WD POST (LOAD ABOVE)
- ⊙ POINT LOAD
- ☑ Interconnected Smoke detectors to comply with B.C.B.C. 9.10.19. Interconnected Carbon Monoxide detectors to comply with B.C.B.C. 9.32.4.2.

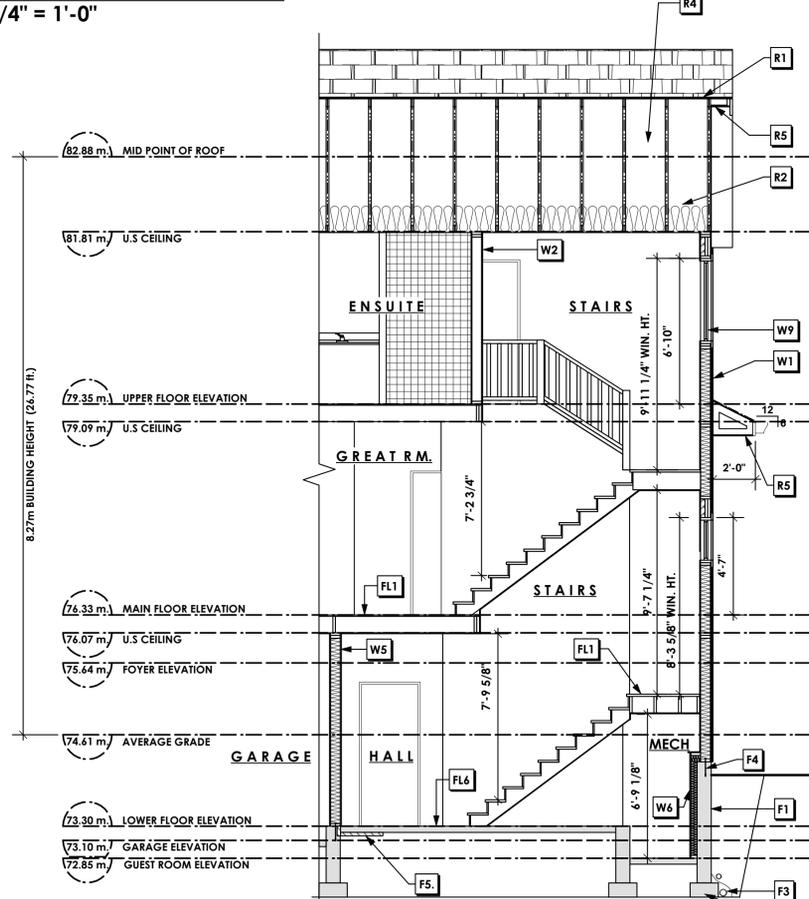
Refer to general notes



1 Cross Section A-A
Scale: 1/4" = 1'-0"



2 Cross Section B-B
Scale: 1/4" = 1'-0"



3 Cross Section C-C
Scale: 1/4" = 1'-0"

Walls

- W1. CONC. FIBRE SIDING (James Hardie or eq.) ON 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 1/2" ORIENTED STRAND BOARD 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (refer to details on D1)
- W2. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" o/c OR 2x6 STUDS @ 16" o/c (if noted)
- W3. B.C. BUILDING CODE 2012 (A-9.10.3.1.A) RATED WALL ASSEMBLY W1a 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C w/ R-20 INSULATION 6MIL POLY'N V.B 1 LAYER 5/8" X-TYPE GYPSUM BOARD 1 HR. F.R.R. 3/2 S.T.C. (between secondary suite & garage)
- W4. B.C. BUILDING CODE 2012 (A-9.10.3.1.A) RATED WALL ASSEMBLY W1a 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (if noted) c/w 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 1 HR. F.R.R. 3/4 S.T.C. (between secondary suite & primary living) (not shown in section)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS @ 16" o/c c/w R-20 INSULATION 6MIL POLY'N V.B 1/2" GYPSUM BOARD (between garage & living)
- W6. FURRING WALL 1/2" GYPSUM BOARD ON 6 MIL POLY'N V.B. 2x4 STUDS @ 24" o/c c/w R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7mm (1/2") AIR SPACE (provide required firestops in wall assemblies to comply with B.C. Bldg. Code 9.10.1.6.)
- W7. PRE-MANUFACTURED STONE VENEER (installed to manuf. spec.) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 1/2" PLYWOOD SHEATHING OR EQ. ON 2x4 STUDS @ 16" (as required) (not shown in section)
- W8. 4" x 6" POST ANCHORED TO 10" DIA CONC. PEDESTAL 30" x 30" x 10" CONC. PAD FTG C/W 4 - 15M REBAR BOTH WAYS ON SOLID UNDISTURBED BEARING
- W9. DOUBLE GLAZING ENERGY STAR LOW 'E' RATING IN THERMAL BREAK FRAME 2/2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL w/ R-10 F/G BATT INSUL'N.) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) STARLINE WINDOWS TO ENSURE ALL WINDOWS & DOORS TO COMPLY WITH B.C. BLDG. CODE 2012 9.7 & AAMA/WDMA/CSA 101/1.5.2/A440, NAFS & C.S.A. A44051-09 LANGFORD, Class R - P-20 (Z20) A2 RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-40 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. PRE-FIN. ALUMINUM FASCIA GUTTER 2"x8" FASCIA BD. 2"x4" SUB. FASCIA BD. VENTED SOFFIT TO COMPLY W/ B.C. BLDG. CODE 2012 9.10.1.5.5.1(10) (verify material)
- R6. LAMINATED ASPHALT SHINGLES ON 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS SCISSOR TRUSSES (DESIGNED BY MANUF.) R-40 BATT. INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R7. PRE-FIN METAL ROOFING (installed to manuf. specifications) ON HIGH TEMPERATURE SELF ADHERED MEMBRANE (to comply w/ B.C. BLDG. CODE 9.26.1.1(1)(g) and C958-37-GP-52M) 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 BATT. INSULATION (ALLOW FOR SETTLING) 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD

Floors

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) 1/2" GYPSUM BOARD
- FL2. F9b RATED FLOOR ASSEMBLY (2012 BCBC table A-9.10.3.1.B) FINISH FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) 2"x10" FLOOR JOISTS @ 16" O/C C/W R-28 F/G BATT INSULATION RESILIENT CHANNELS @ 16" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD FR: 1.0 hr, STC: 52
- FL3. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD (between garage and living space)
- FL4. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W VENTED SOFFIT (to owners spec's) TO ALL SUSPENDED FLOOR AREAS
- FL5. DECKING MEMBRANE (to comply with CAN/CSB 37.54) ON 5/8" ORIENTED STRAND BOARD C/W "H" CLIPS TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2x4 WOOD STRAPPING @ 16" O/C 2"x10" DECK JOISTS @ 12" OR 16" O/C SPRAY APPLIED RIGID POLYURETHANE FOAM (MIN 6" (150 mm)) MEDIUM DENSITY TO COMPLY WITH CAN/ULC-5705.1 AND INSTALLED IN ACCORDANCE WITH CAN/ULC-5705.2 (VERIFY WITH BUILDING ENVELOPE CONSULTANT) 5/8" X-TYPE GYPSUM BOARD (provide adequate membrane "upstand" @ ext. wall.)
- FL6. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL7. 3 1/2" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL8. EXPOSED AGG. FIN. 3.5" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND (patio)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 16"x 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOTTOM ON UNDISTURBED SOIL (SOIL BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2m) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY OR VERTICALLY FOR SLABS ABOVE FROST LINE. (verify with municipality depth of frost line.)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE

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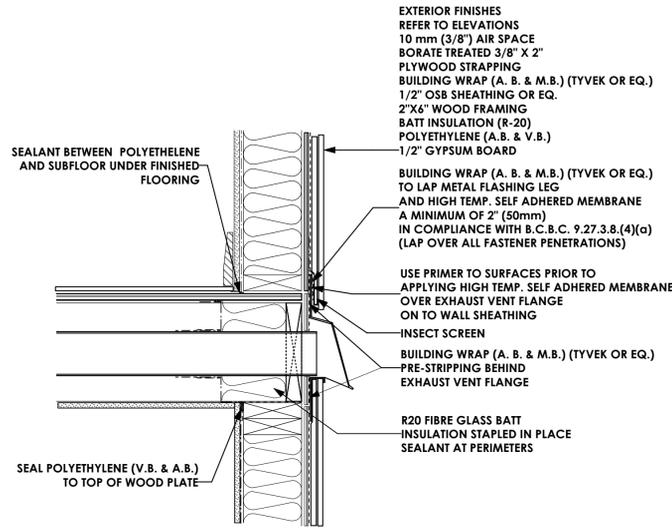
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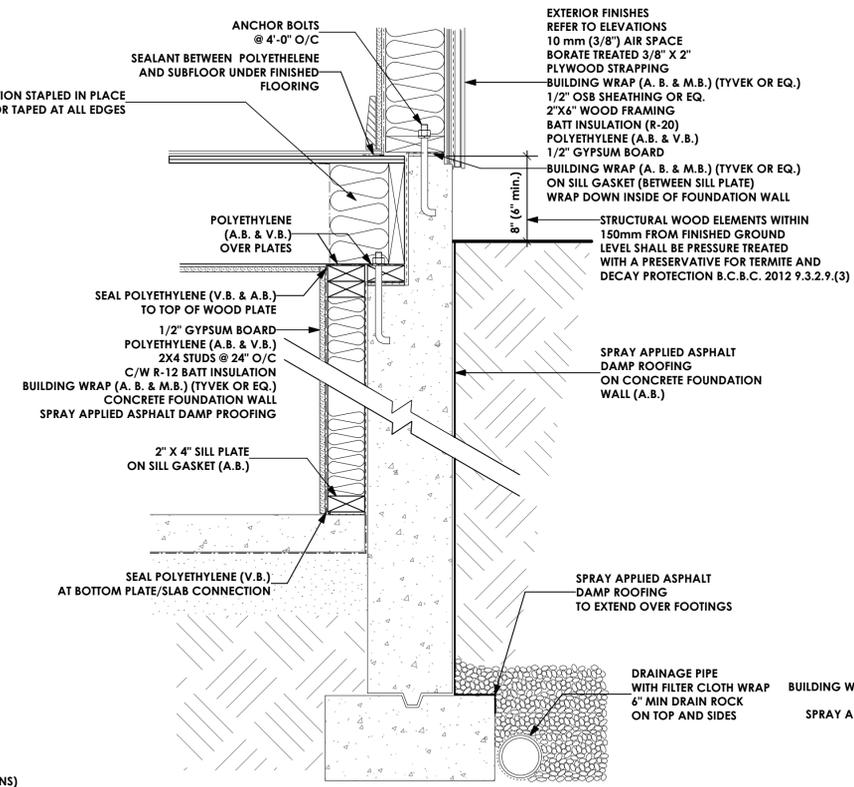
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CROSS SECTION

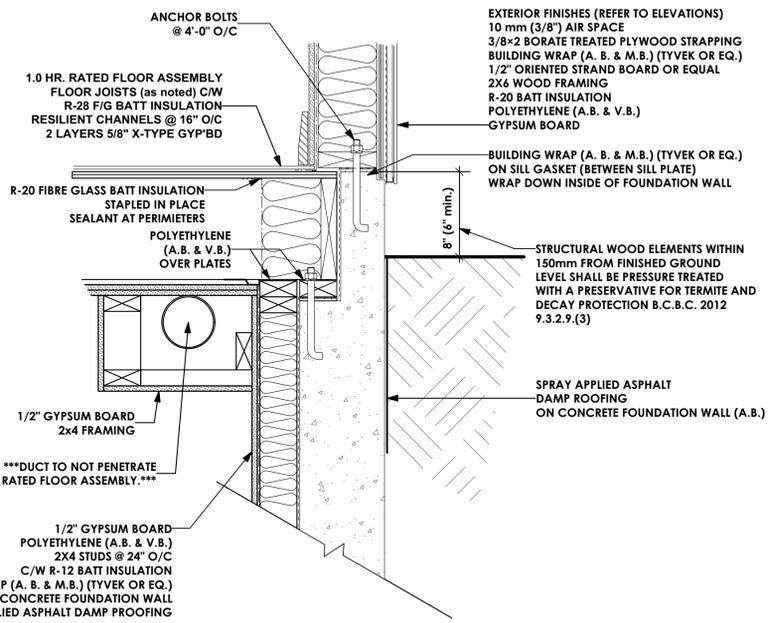
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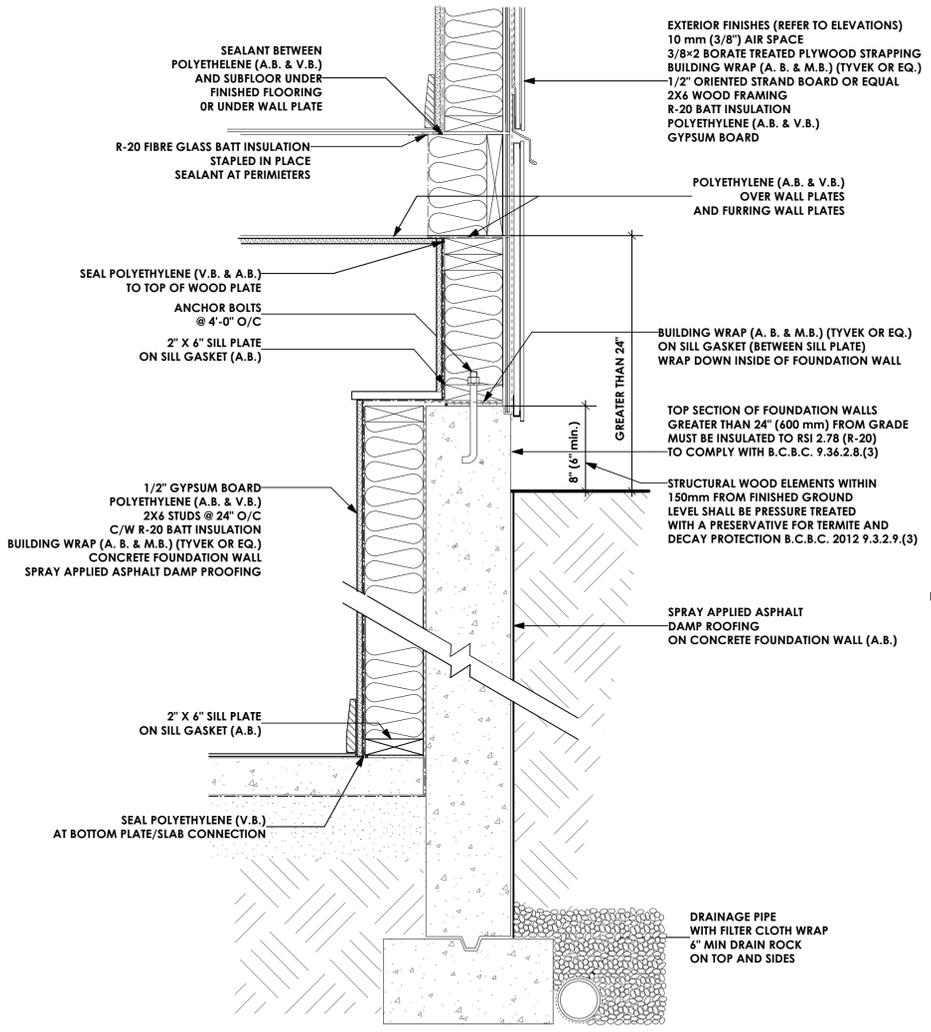
1 Wall Exhaust Vent
Scale: 1 1/2" = 1'-0"
D1 PRIMEX CAP (OR EQ.) REFER TO MANUF. FOR SPECIFICATIONS & INSTALLATION



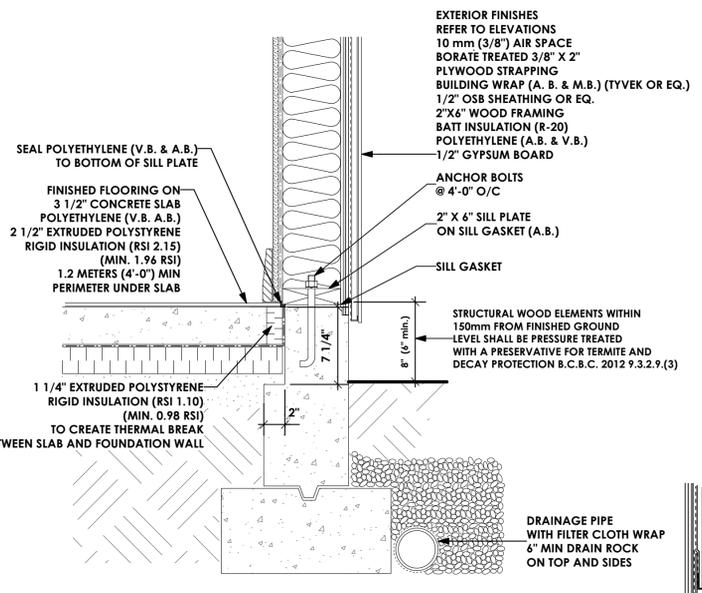
2 Concrete Joist Ledge
Scale: 1 1/2" = 1'-0"
D1



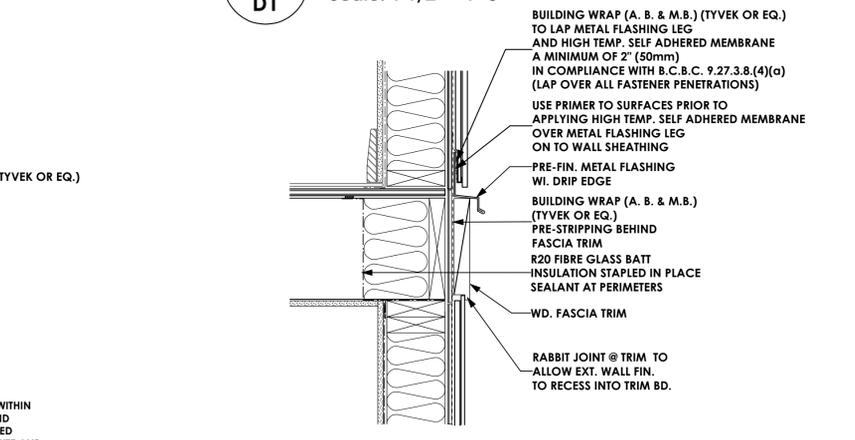
3 Bulk Head (Suite)
Scale: 1 1/2" = 1'-0"
D1



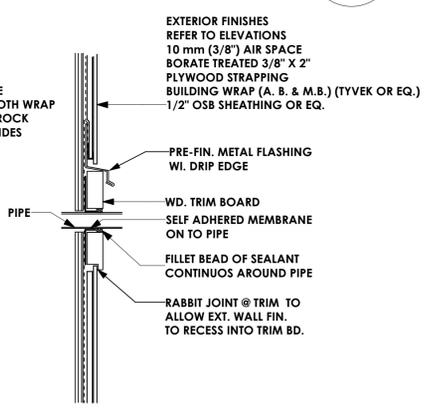
4 Basement Furring Wall
Scale: 1 1/2" = 1'-0"
D1



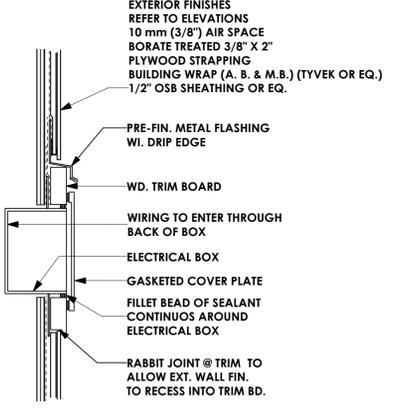
5 Slab on Grade
Scale: 1 1/2" = 1'-0"
D1



6 Trimmer Joist
Scale: 1 1/2" = 1'-0"
D1



7 Pipes
Scale: 1 1/2" = 1'-0"
D1



8 Electrical Fixtures
Scale: 1 1/2" = 1'-0"
D1

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08		

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VICTORIA DESIGN GROUP

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DRWG NO. **7580-41**

SHT. NO. **D1 OF D2**

DATE **Oct 12, 2017**

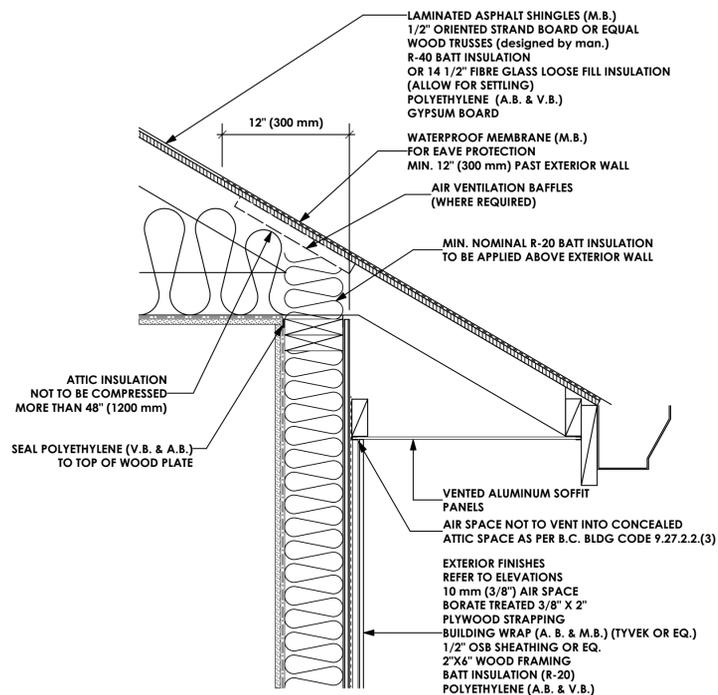
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DRAWN **N.S.**

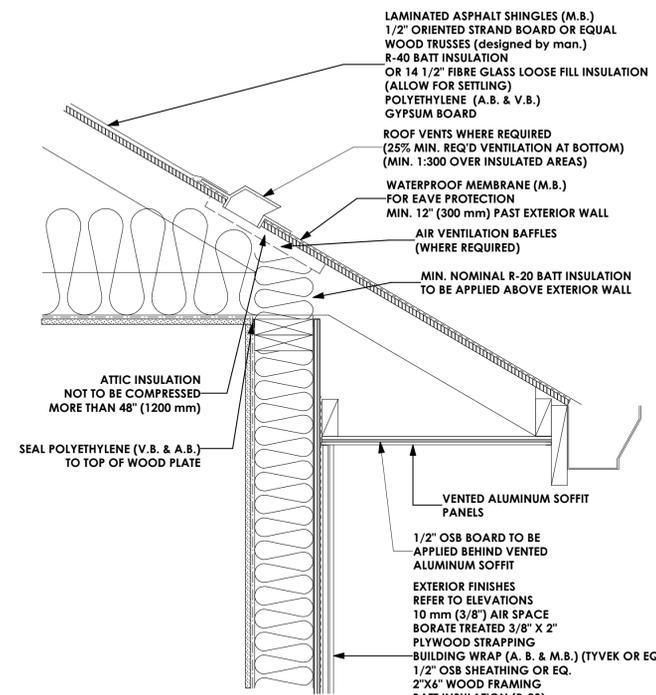
REVIEWED **J.T.E.**

RAINSCREEN DETAILS

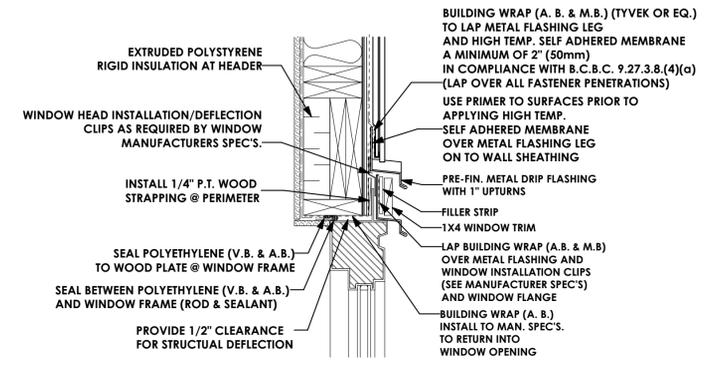
PROJECT **Proposed Residence:
Langdon Weir
Construction Ltd.
3551 Paperbark Cres.
Lot 41 Latoria Rise
Langford, B.C.**



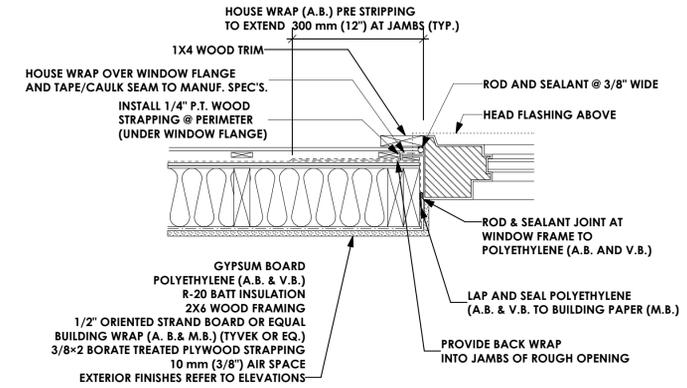
1 Water Shedding Roof / Wall
Scale: 1 1/2" = 1'-0"
D2



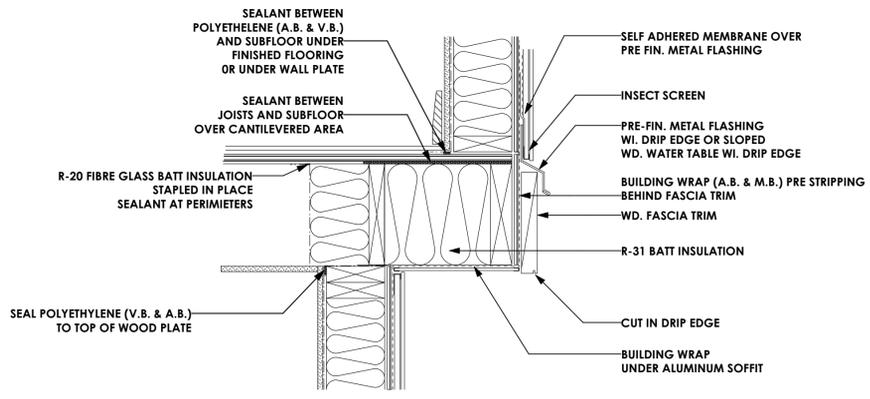
2 Soffit Protection
Scale: 1 1/2" = 1'-0"
2012 BC BUILDING CODE 9.10.15.5 (10)
(USE PROVIDED DETAIL WHEN ROOF OVERHANG IS WITHIN 1.20M OF PROPERTY LINE)
D2



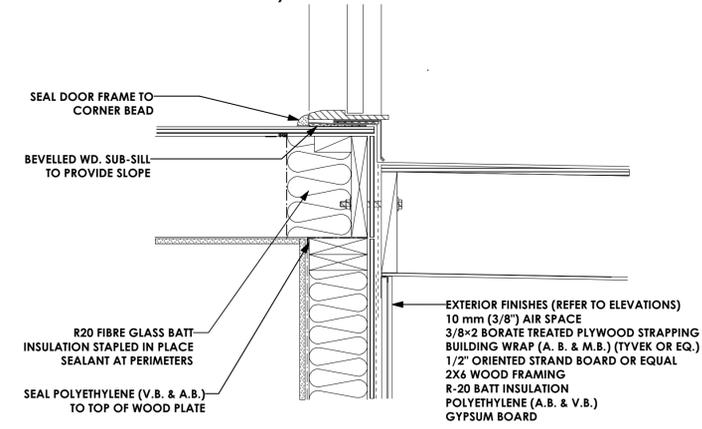
3 Window Head
Scale: 1 1/2" = 1'-0"
D2



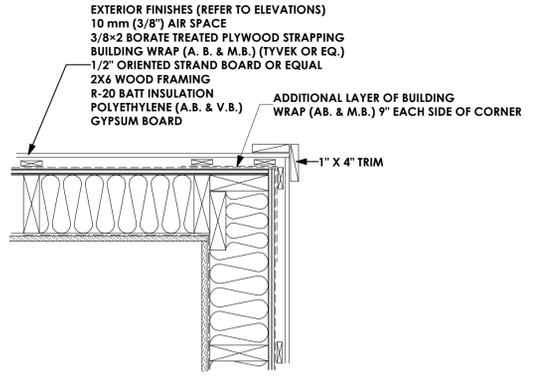
6 Window Jamb
Scale: 1 1/2" = 1'-0"
D2



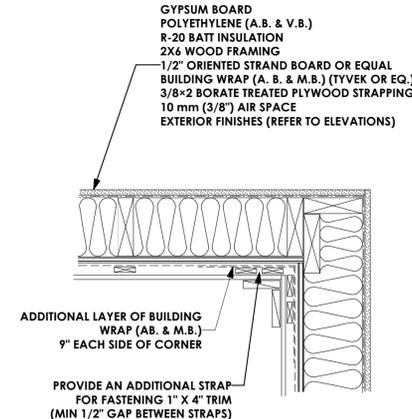
4 Cantilevered Floor
Scale: 1 1/2" = 1'-0"
D2



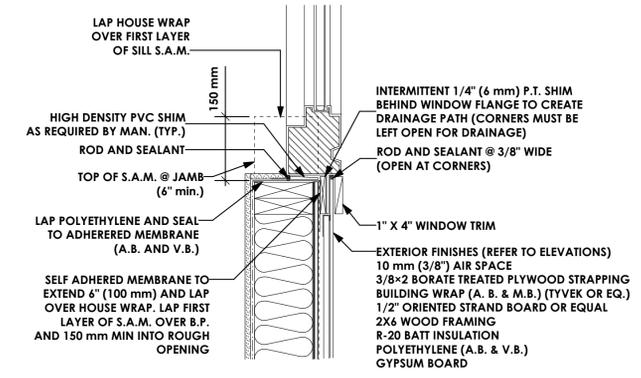
5 Door Sill Protected Membrane
Scale: 1 1/2" = 1'-0"
D2



7 Exterior Corner
Scale: 1 1/2" = 1'-0"
D2



8 Interior Corner
Scale: 1 1/2" = 1'-0"
D2



9 Window Sill
Scale: 1 1/2" = 1'-0"
D2

PROFESSIONAL SEALS

CONSULTANTS

LIST OF DRAWINGS

A1	General Notes
A2	Siteplan
A3	Elevations
A4	Foundation & Lower Floor Plans
A5	Main & Upper Floor Plans
A6	Section
D1	Rainscreen Details
D2	Rainscreen Details

ISSUED/REVISED

No.	DATE	ISSUED/REVISED
01	09/13/17	Client Review
02	10/12/17	For B.P. Submission
03		
04		
05		
06		
07		
08		

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<p>VICTORIA DESIGN GROUP 102 - 801 ATTERLEY AVENUE VICTORIA, B.C. V8B 0A6 PH: 250.382.7374 FAX: 250.382.7364 WWW.VICTORIADESIGNGROUP.CA</p>	DRWG NO.	7580-41
	SHT. NO.	D2 OF D2
	DATE	Oct 12, 2017
	SCALE	As Shown
	DRAWN	N.S.
	REVIEWED	J.T.E.

RAINSCREEN DETAILS

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